

HIGHLAND PARK PLANNED DEVELOPMENT

TTM 19915 PLANNED DEVELOPMENT

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I. INTRODUCTION

A. DOCUMENT PURPOSE

This Development Plan for Tentative Tract Map 19915 (TTM 19915, also known as “HIGHLAND PARK”), has been prepared pursuant to the requirements of the City of Highland Municipal Code (Chapter 16.12.010, *Planned Development (PD) District*) and shall be enforced by the City of Highland via Conditions of Approval placed on TTM 19915. Development of the HIGHLAND PARK community is required to substantially conform to the physical characteristics and design concepts set forth in this document. The City’s Planning Director has the discretion to determine if implementing actions substantially conform to this Development Plan.

B. PROJECT LOCATION

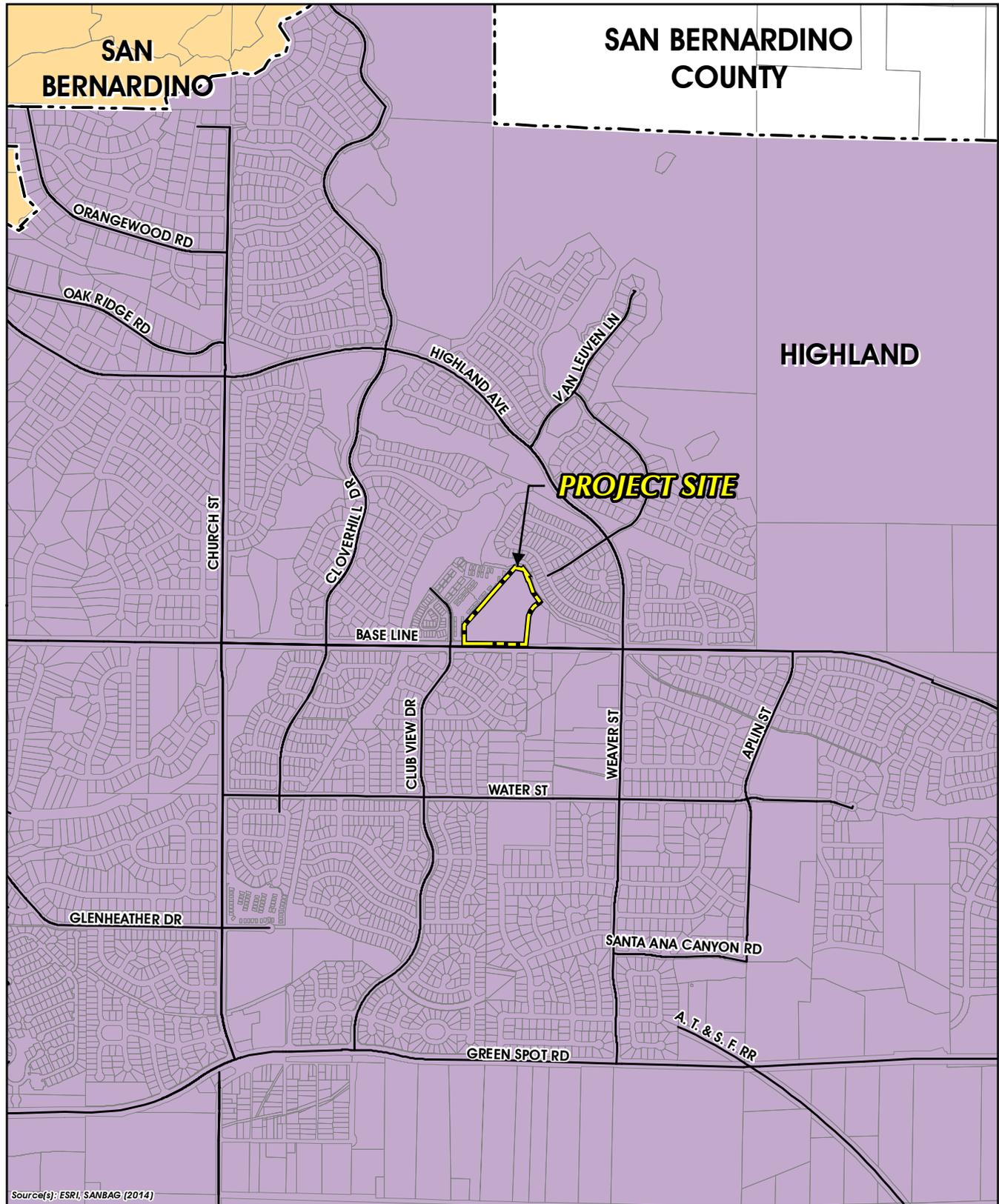
The HIGHLAND PARK community is located on approximately 7.66 acres in the City of Highland, San Bernardino County, California. Specifically, HIGHLAND PARK is located on the north side of Base Line, west of Weaver Street, east of Club View Drive. The location of the HIGHLAND PARK community is graphically depicted on Figure I-1, *Vicinity Map*.

C. SUMMARY OF PROJECT ENTITLEMENTS

Entitlements approved by the City of Highland to implement the HIGHLAND PARK development include, but are not limited to, Change of Zone (ZC No. 015-001) and Tentative Tract Map (TTM No. 19915). Change of Zone 015-001 changes the property’s zoning designation from R-2 to Planned Development (PD), and this Development Plan is required as a condition of the PD zone designation. As shown in Figure I-2, *Tentative Tract Map No. 19915*, TTM 19915 subdivides the property into 46 single-family residential lots, one Neighborhood Park and water quality basin, landscaped slopes, along with roadways and utilities.

D. PROJECT OBJECTIVES

- Provide a high quality, planned residential community that compliments surrounding land uses.
- Create an attractive, cohesive mix of architectural styles and landscaping materials which result in a community which will appeal to residents.
- Provide amenities which meet the diverse needs of residents within the HIGHLAND PARK community, including a community park and thoughtfully landscaped open space areas.



Source(s): ESRI, SANBAG (2014)

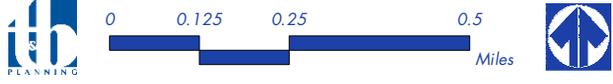


Figure I-1

VICINITY MAP

II. LAND USE AND DEVELOPMENT STANDARDS

This section contains the land use and development standards which establish compliance with the City's Municipal Code and ensure compatibility with surrounding land uses, existing infrastructure, and public services.

A. LAND USE

The HIGHLAND PARK community is a high quality, planned residential community that consists of 46 detached single family homes and a Homeowner Association (HOA) maintained neighborhood park. Other community features include a HOA maintained water quality basin and landscaped slopes, as well as three new interior public neighborhood streets and other supporting infrastructure.

The HIGHLAND PARK community is located within an area of the City that is predominately developed with residential land uses. Three sides of Highland Park are surrounded by the East Highlands Ranch Planned Development, to the north, east, and west. These portions of East Highlands Ranch are residential, with multi-family residential to the west, and single-family residential to the north and east. Single-family residential, not a part of the East Highlands Ranch Planned Development, is located to the south. Development of the HIGHLAND PARK community is compatible with surrounding land uses, land development standards, existing infrastructure, and public services.

B. DEVELOPMENT STANDARDS

The City's Municipal Code provides for the flexibility of design and development standards within the Planned Development zone to achieve the objectives of the City's General Plan more effectively, including the City's design goals and principles for residential neighborhoods. A description of the Highland Park Development Plan's consistency with the City's General Plan is provided in Section IV, *General Plan Consistency*. Table II-1, *Development Standards*, summarizes the PD development standards set forth in this Development Plan.

Table II-1 Development Standards

Lot Requirements	
Minimum Lot Area:	3,000 square feet
Minimum Lot Width at front setback:	34 feet
Minimum Lot Depth:	75 feet
Maximum Lot Coverage:	60%
Yard Requirements	
Minimum Front Yard:	10 feet to patio or porch 12 feet to living area 18 feet to garage from back of sidewalk
Minimum Side Yard: (Interior & Through Lots)	4 feet
Minimum Side Yard: (Corner & Reversed Corner Lots)	4 feet
Rear Yard:	10 feet (flat usable area)
Other	
Maximum Building Height:	30 feet
Parking	2 garage spaces per unit 2 driveway parking spaces per unit 0.5 on-street parking spaces per unit
Garage Standards	Front-facing garage widths shall be limited to 65% of the house width. A minimum 3-foot wide landscape area shall be located on both sides of a driveway. The Covenants, Codes and Restrictions (CC&Rs) for the HIGHLAND PARK community shall include a provision prohibiting the conversion of garages to habitable living spaces.
Ground Mounted Mechanical Equipment	Located in rear setback

C. PLOTTING STANDARDS

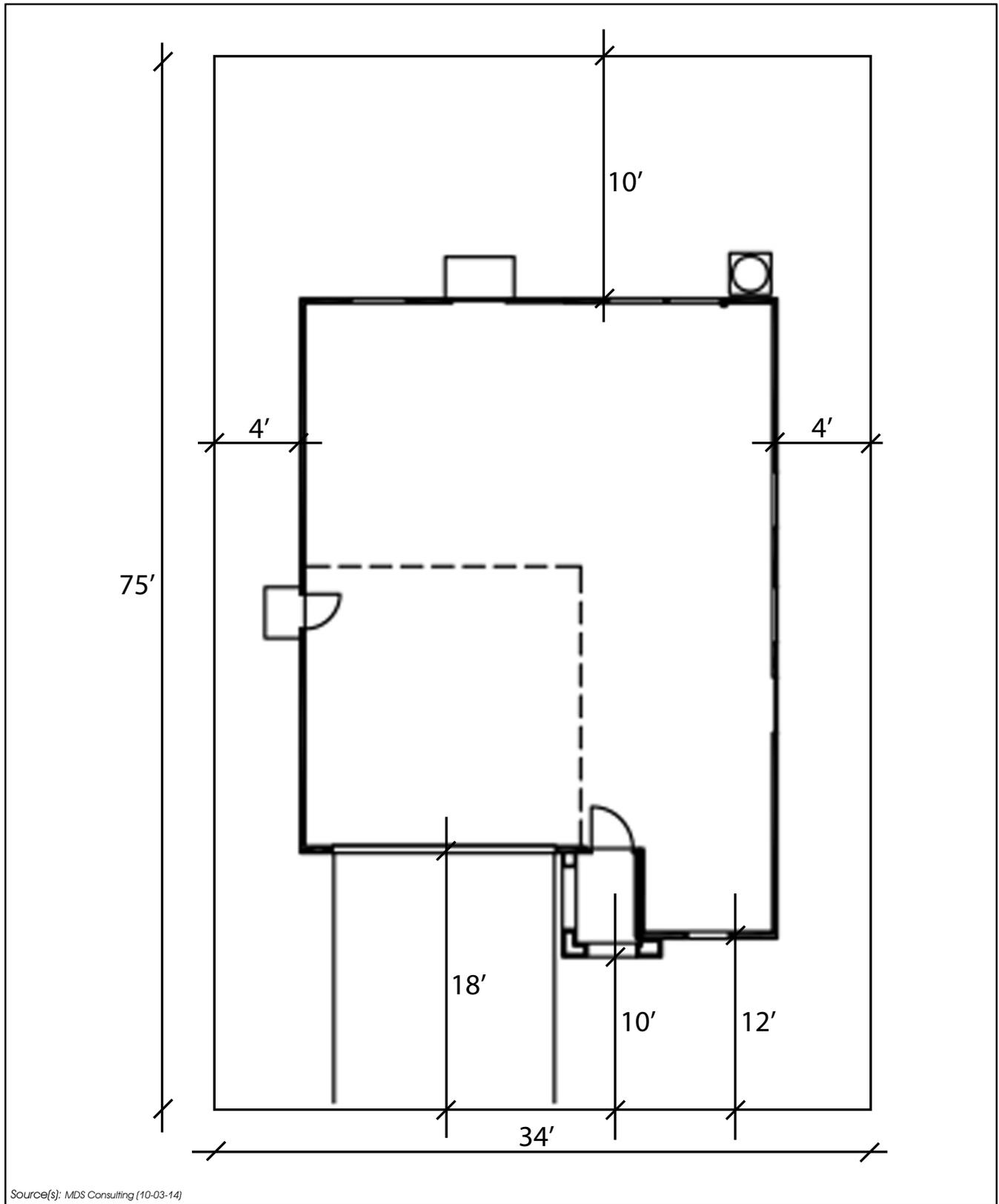
HIGHLAND PARK shall feature a range of home sizes, styles, and floor plans. Figure II-1, *Minimum Setbacks*, provides an illustration of proposed minimum setbacks for each floor plan within the HIGHLAND PARK community.

Detached single-family homes within HIGHLAND PARK creatively utilize “architecture forward” designs, outdoor spaces, varied garage treatments, landscaping, and other innovative neighborhood design techniques to create a visually interesting streetscene and identifiable neighborhood character. Short, curvilinear streets prevent long stretches of linear massing, and when combined with private outdoor spaces such as covered front porches and front yards, result in a welcoming, interactive street scene conducive to pedestrian activity. To ensure a visually interesting street scene, HIGHLAND PARK community shall comply with the following plotting requirements:

- i. The same elevation style shall not be plotted next to itself or directly across the street from itself. “Directly across the street” shall be defined as more than half of the narrower lot overlapping with the wider lot across the street.
- ii. Single-story architectural elements shall be incorporated into the elevations of homes on corner lots. Examples of single-story architectural elements include architectural projections, bay windows, porches, one-story living spaces, and/or a one-story garage element.

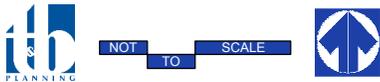
D. NEIGHBORHOOD PARK

HIGHLAND PARK provides a Neighborhood Park for the enjoyment of its residents. As depicted on Figure II-2, *Neighborhood Park*, the 0.44 acre Neighborhood Park includes a covered tot lot, open turf play area, barbecue area, trellis shade structure, picnic tables, seating, and benches. Large canopied evergreen and deciduous trees provide shade; flowering shrubs and groundcover create visual appeal.



Source(s): MDS Consulting (10-03-14)

Figure II-1



MINIMUM SETBACKS



Source(s): Clark & Green Assoc. (04-01-16)

Figure II-2



NOT TO SCALE



NEIGHBORHOOD PARK

III. DESIGN GUIDELINES

A. ARCHITECTURAL DESIGN GUIDELINES

1. Architectural Design

These Architectural Guidelines establish the architectural design theme for the HIGHLAND PARK community. The Neighborhood Design Principles identified in the Community Design Element of the City's General Plan are addressed by these Design Guidelines.

a. Design Principles

The architectural designs in HIGHLAND PARK are representative of the three architectural styles described in this document: Traditional; Cottage; and Spanish (refer to Subsection 2, *Architectural Styles*). The defining features of the selected architectural styles must be consistently implemented across the community to visually identify and differentiate each style.

The selection of an architectural style should be compatible with the massing of their floor plans; as such, a certain style should not be forced onto every floor plan if it is not compatible. By emphasizing the use of distinct and identifiable styles, these guidelines discourage monotony. Street scenes shall incorporate multiple architectural styles and should be diverse as to form, massing, features, windows, front doors, garage doors, materials, and colors.

b. Form and Massing

Building mass and scale are two primary design components that affect how a building is perceived. The creative use of articulation of the building's visible facades, variation of rooflines, balance of roof forms, and changes in vertical and horizontal planes reduces the perceived mass of a building. Even if the front elevation setback for adjacent homes is the same, variations in massing can provide considerable visual interest.

It is important to provide variation in front elevation massing along every street in HIGHLAND PARK to provide diversity and avoid a monotonous pattern along the streetscape. Examples of design features that can reduce a home's perceived visual mass include covered front porches, window and door articulation, balconies, extended overhangs, and decorative building edge treatments (cornice, eave, quoins, etc.).

c. Roofs

The roofline is a dominant visual element of a home. A roof's composition should allow for a clean interface with the building and the building facade. A roof's form and composition should reflect the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style, and shall also not be overbearing nor give the appearance of being disjointed.

- i. Rooflines of adjacent homes should vary to create a variety of silhouettes and ridge heights.

- ii. Roof pitches should vary among floor plans and complement the building's architectural style. Primary roof pitches may be 5:12, 6:12, or 7:12. Secondary roof pitches can vary from primary roof pitches but only if such variation is consistent with the architectural style.
- iii. Roof pitches and colors should vary from one house to the next, when appropriate for the architectural style.
- iv. Roof materials and colors selected for an architectural style must reflect the elements that are typically used in that style.
- v. Roofing materials shall be non-combustible.
- vi. Solar panels, if used, should be a low profile mounted system.
- vii. Eave overhangs should vary among floor plans and complement the building's architectural style.

d. Garage Location and Design

To achieve attractive streetscenes throughout the HIGHLAND PARK community, particular attention must be given to the design and placement of garages.

- i. Garage door style, color and design shall reflect the architectural character of the home and shall vary between adjacent homes, when appropriate. Acceptable garage door styles include, but are not limited to raised panel, recessed panel, flush panel in both roll-up and carriage swing door designs.
- ii. Windows shall be incorporated into the garage door design for at least 50% of all garages. Where provided, garage door window styles shall correspond to the architectural style of the house.
- iii. Architectural features, such as varied rooflines (including height and pitch) and second story setbacks, shall be incorporated into the garage design to reduce building mass and scale and create a visually interesting streetscene, when appropriate for the selected architectural style.

e. Windows and Doors

Window and door details are architectural components that carry a strong visual impact through their placement and design.

- i. Front door details shall be consistent with the architectural style.
- ii. Feature window shapes shall be consistent with the architectural style.
- iii. Accent shutters are not required; however, when used, shutter size shall be proportional to the window and shall reflect the architectural style.
- iv. Windows and/or doors with silver or gold frames or reflective glass are prohibited.

f. Building Materials and Colors

A complementary mixture of colors, textures, and building materials is encouraged throughout the HIGHLAND PARK community. Building material and color selection are integral components in the definition of a specific architectural style and also contribute to a varied streetscape design. A variety of exterior accent materials (e.g., brick, stone, siding, pre-cast concrete, ceramic tile, timber) should be used as an integral feature in home construction to convey the selected architectural styles.

- i. The exterior treatments of houses shall reflect a complementary mix of colors, tones, and textures.
- ii. Color schemes shall be simple, tasteful, and consistent with architectural styles.
- iii. A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. This avoids a monotonous appearance of multiple buildings of the same colors and tones.
- iv. Material breaks, transitions, and termination shall produce complementary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers.
- v. Stucco finishes on exterior walls shall include one of two styles: light lace finish or sand finish
- vi. Stucco finishes on exterior walls shall be accompanied by at least one other accent material appropriate to the architectural style (e.g., wood trim, stone, brick), unless an architectural style, such as Spanish, traditionally uses stucco without an accent material.

g. Outdoor Lighting

Lighting standards throughout HIGHLAND PARK shall be similar in style, color and materials, embracing a natural and minimal lighting approach.

- i. All outdoor lighting shall incorporate, to the extent feasible and permissible under City standards, measures to aid in reducing light pollution. Such measures include: wattage reduction, directing lighting downward, shielding lights (or using "cut-off lights" that only illuminate the side or underside of a fixture, rather than shining skyward) and lowering the height of light poles to reduce the illumination radius.
- ii. All outdoor lighting fixtures shall be focused, directed, and arranged to minimize glare and illumination on public streets and adjoining property.

h. Mechanical Equipment

Mechanical equipment such as air conditioners, heaters, evaporative coolers, and other such devices shall not be mounted on any roof or located within the side yards and must be located behind privacy walls or landscaping. Solar panels are not required but are permitted on roofs.

2. Architectural Styles

The residential architecture of HIGHLAND PARK includes a complementary palette of architectural styles that are authentic to the southern California landscape. The architectural styles expected in the HIGHLAND PARK community, and their character-defining elements, are described below.

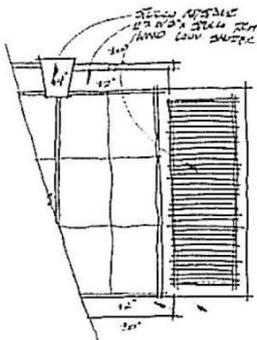
The following Tables and associated Figures identify each of the three architectural styles and their defining characteristics included in HIGHLAND PARK.

Table III-1 Traditional Style Defining Characteristics

Traditional	
Simple gable-ended architecture and, on occasion, hipped roofs. Narrow and tall window openings and shutters.	
<p>Design Features</p> <ul style="list-style-type: none"> <input type="checkbox"/> Plaster <input type="checkbox"/> 18” overhangs <input type="checkbox"/> Symmetrical fenestration <input type="checkbox"/> Vertical and horizontal forms <p>Colors</p> <ul style="list-style-type: none"> <input type="checkbox"/> White and light tones <input type="checkbox"/> Vibrant accents <p>Accent Materials</p> <ul style="list-style-type: none"> <input type="checkbox"/> Stucco – light lace finish <input type="checkbox"/> Siding <input type="checkbox"/> Brick Accents 	<p>Roofs</p> <ul style="list-style-type: none"> <input type="checkbox"/> 5:12 to 6:12 pitched roofs <input type="checkbox"/> Simple gabled and hipped roofs <input type="checkbox"/> Flat tile <p>Windows</p> <ul style="list-style-type: none"> <input type="checkbox"/> Narrow and tall <input type="checkbox"/> Shutters <input type="checkbox"/> Pot shelves <input type="checkbox"/> Distinctive window trim details



PORCH ACCENT



SHUTTER / TRIM
DETAIL



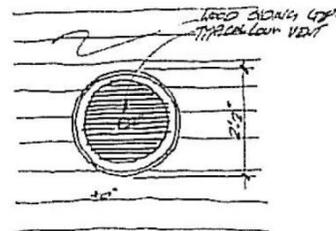
SIMPLE ROOF LINES



HORIZONTAL ROOF FORM



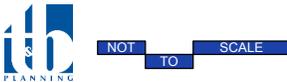
COLUMN DETAIL



VENT ACCENT

Source(s): MGA (03-2016)

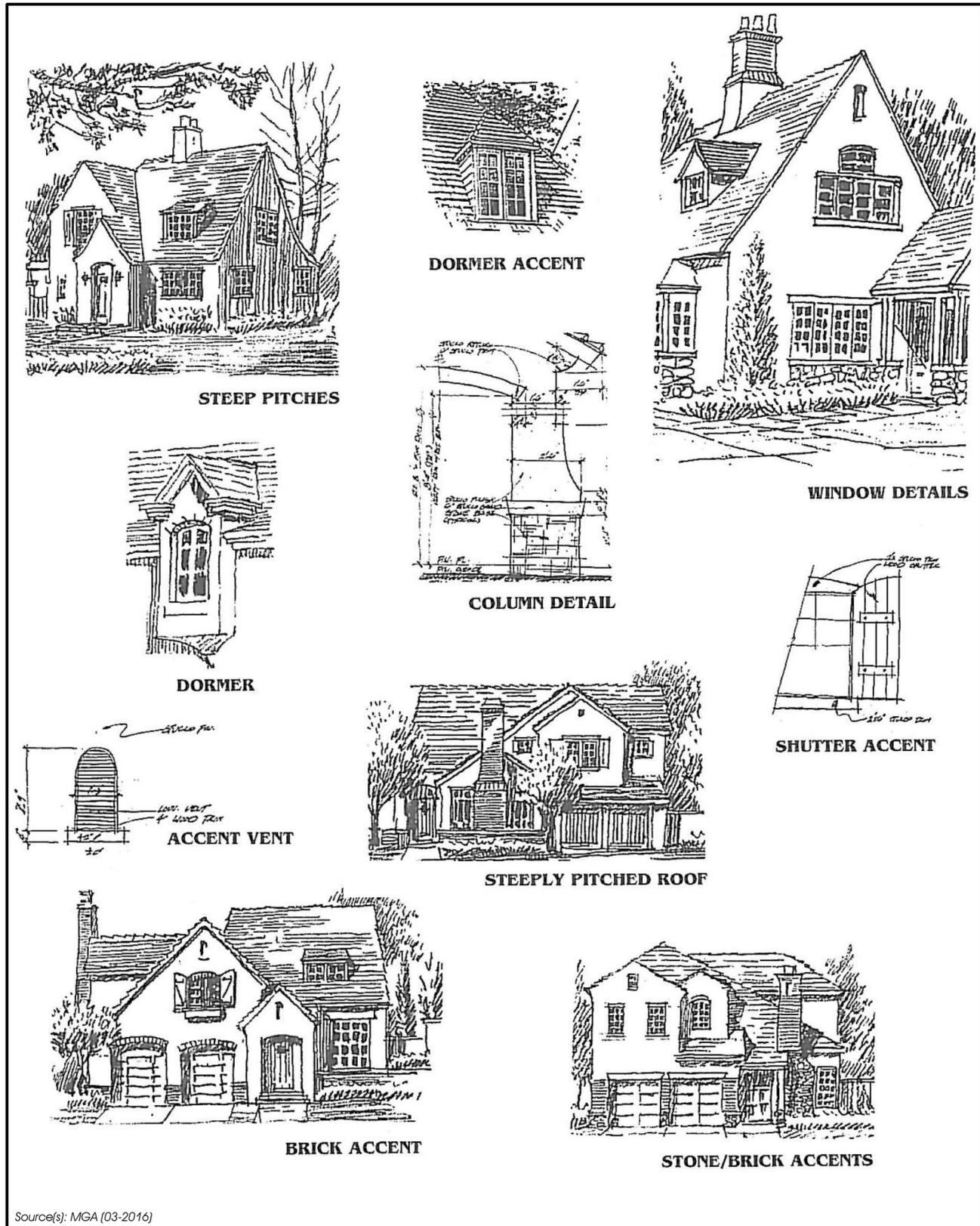
Figure III-1



ARCHITECTURAL DETAILS - TRADITIONAL

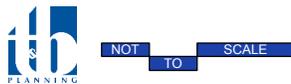
Table III-2 Cottage Style Defining Characteristics

Cottage	
<p>Stone and siding accents, simple gable-ended architecture and hipped roofs. Narrow and tall window openings and shutters with periodical use of arches.</p>	
<p>Design Features</p> <ul style="list-style-type: none"> <input type="checkbox"/> Plaster <input type="checkbox"/> 18” overhangs <input type="checkbox"/> Symmetrical fenestration <input type="checkbox"/> Vertical forms <input type="checkbox"/> Soft arched openings <p>Colors</p> <ul style="list-style-type: none"> <input type="checkbox"/> Earth tones <input type="checkbox"/> Vibrant accents <p>Accent Materials</p> <ul style="list-style-type: none"> <input type="checkbox"/> Stucco – light lace finish <input type="checkbox"/> Stone <input type="checkbox"/> Siding <input type="checkbox"/> Accents at gables 	<p>Roofs</p> <ul style="list-style-type: none"> <input type="checkbox"/> Steep-pitched roof (5:12 to 6:12) <input type="checkbox"/> Hip roofs with occasional gable forms <input type="checkbox"/> Flat tile <p>Windows</p> <ul style="list-style-type: none"> <input type="checkbox"/> Narrow and tall <input type="checkbox"/> Shutters <input type="checkbox"/> Pot shelves <input type="checkbox"/> Distinctive window trim details



Source(s): MGA (03-2016)

Figure III-2



ARCHITECTURAL DETAILS - COTTAGE

Table III-3 Spanish Style Defining Characteristics

Spanish	
<p>Simple gable-ended architecture. Narrow and tall window openings and shutters with periodical use of arches.</p>	
<p>Design Features</p> <ul style="list-style-type: none"> <input type="checkbox"/> Plaster <input type="checkbox"/> Minimal overhangs <input type="checkbox"/> Symmetrical fenestration <input type="checkbox"/> Vertical forms <input type="checkbox"/> Arched Openings <p>Colors</p> <ul style="list-style-type: none"> <input type="checkbox"/> Light tones <input type="checkbox"/> Vibrant Accents <input type="checkbox"/> Park Facias <p>Accent Materials</p> <ul style="list-style-type: none"> <input type="checkbox"/> Stucco – light lace finish <input type="checkbox"/> Terra cotta pipes and gables <input type="checkbox"/> Wrought Iron Accent Grates 	<p>Roofs</p> <ul style="list-style-type: none"> <input type="checkbox"/> Shallow pitched roof (5:12 to 6:12) <input type="checkbox"/> Simple gabled roofs <input type="checkbox"/> Terra cotta tiles (Barrel & ‘S’) <p>Windows</p> <ul style="list-style-type: none"> <input type="checkbox"/> Deep set (2” minimum) on front elevations <input type="checkbox"/> Narrow and tall <input type="checkbox"/> Occasional use of arched windows <input type="checkbox"/> Shutters <input type="checkbox"/> Distinctive window trim details

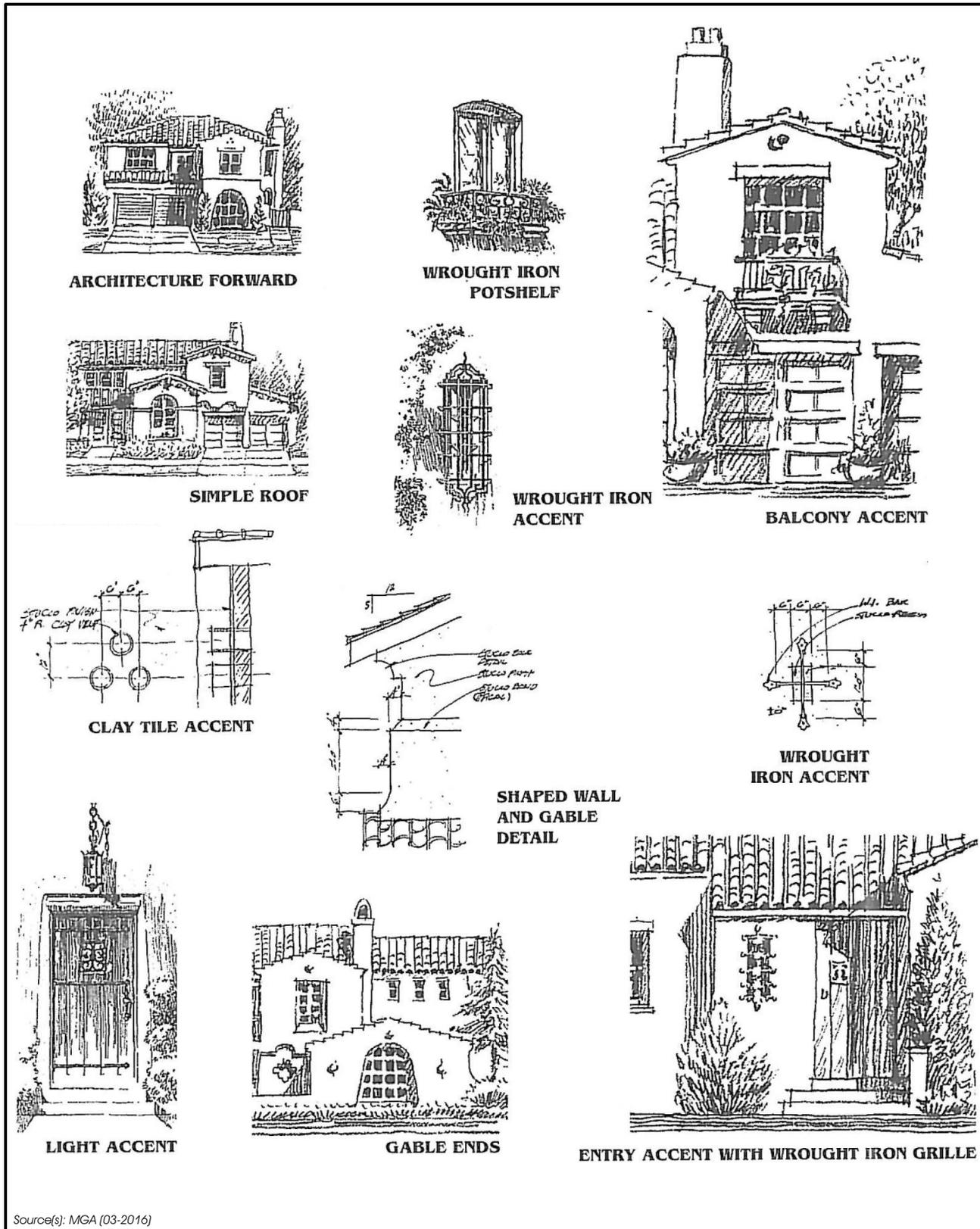


Figure III-3

B. LANDSCAPE DESIGN GUIDELINES

These *Landscape Design Guidelines*, along with the community's companion *Architectural Design Guidelines*, establish a clear and coherent community identity that is contemporary, visually appealing, and sensitive to the environment.

Although a great deal of specific design information is provided in Figure III-4, *Conceptual Landscape Plan*, there will at times be a need for interpretation of the guidelines in keeping with the spirit of the community's landscape theme. When interpreting these guidelines to meet certain parcel-specific or user-identity requirements, opportunities for diversity and visual interest are encouraged. However, it is critical that such opportunities be implemented in manners consistent with the core elements of the overall theme described in this Specific Plan in order to ensure a cohesive and unified community-wide landscape concept.

1. Landscape Theme

The landscape vernacular for HIGHLAND PARK draws from the adjacent foothills. The landscape framework is informal and incorporates informal massing of evergreen and deciduous shade trees along with small flowering accent trees. The backbone trees within Highland Park are comprised primarily of Pines and Oaks. Baseline Street is defined by small flowering accent trees and a combination of Pines and deciduous trees exhibiting fall color. Filibusta Fan Palms line Baseline in the parkway, matching existing trees to the west of the project. The ground plane palette is a mix of Southern California native and compatible drought tolerant, non-native plant materials.

2. Plant Palette

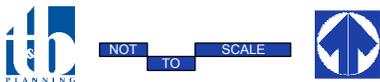
The plant palette for HIGHLAND PARK complements and enhances the setting of the community, while ensuring the conservation of water resources. The plant palette includes colorful shrubs and ground covers along with evergreen and deciduous trees to complement the community's setting and accentuate the community's architectural styles and design elements (hardscape, monumentation, walls and fences, etc.). The landscape theme follows a more natural, informal approach complimentary of the architectural theme and surrounding neighborhood. To ensure the conservation of water resources and to alleviate long-term maintenance concerns, the plant palette for HIGHLAND PARK is comprised of water-efficient species native to southern California or naturalized to the arid southern California climate.

Table III-4, *Plant Palette*, provides a list of the specific plant materials proposed for the various component landscape areas of the community. The plant palette is provided as a base palette for the community's landscape design. Other similar plant materials may be substituted provided the selected plant materials are water-efficient, are non-invasive to the region and complement the HIGHLAND PARK community theme. Plant selection for specific areas of the community shall have similar watering requirements so that irrigation systems can be designed to minimize water use and plant materials can thrive under optimal conditions.



Source(s): Clark & Green Assoc. (05-03-16)

Figure III-4



CONCEPTUAL LANDSCAPE PLAN

Table III-4 Plant Palette

Botanical Name	Common Name	So. California Native Y/N	WUCOLS Class- Region 4'	Base Line	Streets A, B, C, Landscape Setback Trees	Park Site	Slopes	Front Yard
Trees								
<i>Chilopsis linearis</i> 'Arts Seedless'	Desert Willow	Y	L				✓	✓
x <i>Chitalpa tashkentensis</i> 'Morning Cloud'	Chitalpa	N	L	✓	✓		✓	
<i>Fraxinus oxycarpa</i> 'Raywood'	Raywood Ash	N	M	✓		✓	✓	✓
<i>Lagerstroemia faurei</i> x <i>indica</i> cultivars	Crape Myrtle	N	M		✓		✓	✓
<i>Pinus eldarica</i>	Afghan Pine	N	L	✓			✓	
<i>Pinus halepensis</i>	Allepo Pine	N	L	✓			✓	
<i>Pistacia chinensis</i>	Chinese Pistache	N	M		✓		✓	
<i>Platanus racemosa</i>	California Sycamore	Y	M			✓		
<i>Podocarpus gracilior</i>	Fern Pine	N	M	✓			✓	✓
<i>Prunus caroliniana</i>	Carolina Laurel Cherry	N	M	✓	✓		✓	
<i>Quercus agrifolia</i>	Coast Live Oak	Y	L			✓	✓	
<i>Quercus Ilex</i>	Holly Oak	Y	L	✓	✓	✓	✓	
<i>Rhus lancea</i>	African Sumac	N	L				✓	✓
<i>Sambucus mexicana</i>	Mexican Elderberry	Y	L					
<i>Washingtonia x filibusta</i>	Filibusta Fan Palm	Y	L	✓				
Shrubs/Groundcover								
<i>Abelia x grandiflora</i>	Glossy Abelia	N	M					✓
<i>Acacia</i> 'Desert Carpet'	Desert Carpet Acacia	N	L	✓			✓	
<i>Anigozanthos flavidus</i> /hybrids	Kangaroo Paw	N	L					✓
<i>Arctostaphylos</i> 'Pacific Mist'	Pacific Mist Manzanita	Y	L					✓
<i>Arctostaphylos</i> 'Sunset'	Sunset Manzanita	Y	L			✓	✓	✓
<i>Baccharis pilularis</i> 'Pigeon Point'	Coyote Brush	Y	L	✓	✓	✓	✓	
<i>Bulbine frutescens</i> 'Tiny Tangerine'	Bulbine	N	L	✓				✓
<i>Callistemon</i> 'Little John'	Little John Bottlebrush	N	L		✓		✓	✓
<i>Carpenteria californica</i>	Bush Anemone	Y	L					✓
<i>Chrysactinia mexicana</i>	Damianita	N	L	✓			✓	✓
<i>Cistus hybridus</i>	White Rockrose	N	L					✓

Table III-4 Plant Palette

Botanical Name	Common Name	So. California Native Y/N	WUCOLS Class- Region 4'	Base Line	Streets A, B, C, Landscape Setback Trees	Park Site	Slopes	Front Yard
Shrubs/Groundcover (Cont.)								
<i>Dietes iridioides</i>	Fortnight Lily	N	M					✓
<i>Encelia farinosa</i>	Incienso	Y	L			✓	✓	✓
<i>Gaillardia x grandiflora</i>	Blanket Flower	N	M	✓	✓	✓	✓	✓
<i>Hemerocallis hybrids</i>	Daylily	N	M					✓
<i>Hesperaloe parviflora</i> 'Perpa' Brakelights	Crimson Yucca	N	L	✓			✓	✓
<i>Justicia californica</i>	Chuparosa	Y	L				✓	
<i>Lantana</i> 'New Gold'	Lantana	N	V L	✓	✓	✓	✓	✓
<i>Leonotis leonurus</i>	Lion's Tail	N	L	✓	✓	✓	✓	✓
<i>Leucophyllum</i> 'Lynn's Legacy'	Lynn's Legacy Texas Ranger	N	L	✓	✓	✓	✓	✓
<i>Ligustrum japonicum</i> 'Texanum'	Privet	N	M	✓	✓			✓
<i>Macfadyena unguis-cati</i>	Cat's Claw Vine	N	L	✓	✓			
<i>Muhlenbergia capillaris</i> 'Regal Mist'	Regal Mist Muhly	N	M		✓	✓	✓	✓
<i>Muhlenbergia rigens</i>	Deer Grass	Y	M			✓	✓	
<i>Myrtus communis</i>	Common Myrtle	N	M					✓
<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	N	M					✓
<i>Olea europaea</i> 'Little Ollie'	Little Ollie	N	L	✓	✓		✓	✓
<i>Plumbago auriculata</i>	Cape Plumbao	N	M	✓			✓	
<i>Prunus caroliniana</i> 'Bright 'n Tight'	Carolina Laurel Cherry	N	M	✓	✓		✓	✓
<i>Rhus integrifolia</i>	Lemonade Berry	Y	L				✓	
<i>Rosmarinus officinalis</i> 'Prostrata'	Prostrate Rosemary	N	L	✓	✓		✓	✓
<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary	N	L	✓	✓			✓
<i>Salvia</i> 'Furman's Red'	Furman's Red Sage	N	L	✓	✓	✓	✓	✓
<i>Salvia meliera</i> 'Tera Seca'	Tera Seca Sage	Y	V L	✓			✓	
<i>Simmondsia chinensis</i>	Jojoba	Y	V L				✓	

Table III-4 Plant Palette

Botanical Name	Common Name	So. California Native Y/N	WUCOLS Class- Region 4 ¹	Base Line	Streets A, B, C, Landscape Setback Trees	Park Site	Slopes	Front Yard
Shrubs/Groundcover (Cont.)								
Sphaeralcea ambigua	Apricot Mallow	Y	L		✓	✓	✓	

¹WUCOLS (Water Use Classification of Landscape Needs) Categories of Water Needs: VL= Very Low; L=Low; M=Medium; H=High

3. Monumentation

HIGHLAND PARK features an entry point off of Baseline, illustrated in Figure III-5, *Entry Plan*, and Figure III-6, *Entry Elevation*. As shown in Figure III-7, *Entry Monument*, the entry into the community includes a monument pilaster/column with decorative precast concrete detailing and community name. Flowering trees and colorful shrubs provide an inviting shaded entry experience.

Monument signage should be compatible with the character of the community but flexible enough to respond to the individual contexts. Logos, type styles, and color schemes should be consistent throughout the Specific Plan area. General project signs shall vary in size and detail in a manner that reflects their relative importance within the signage hierarchy.

4. Streetscapes

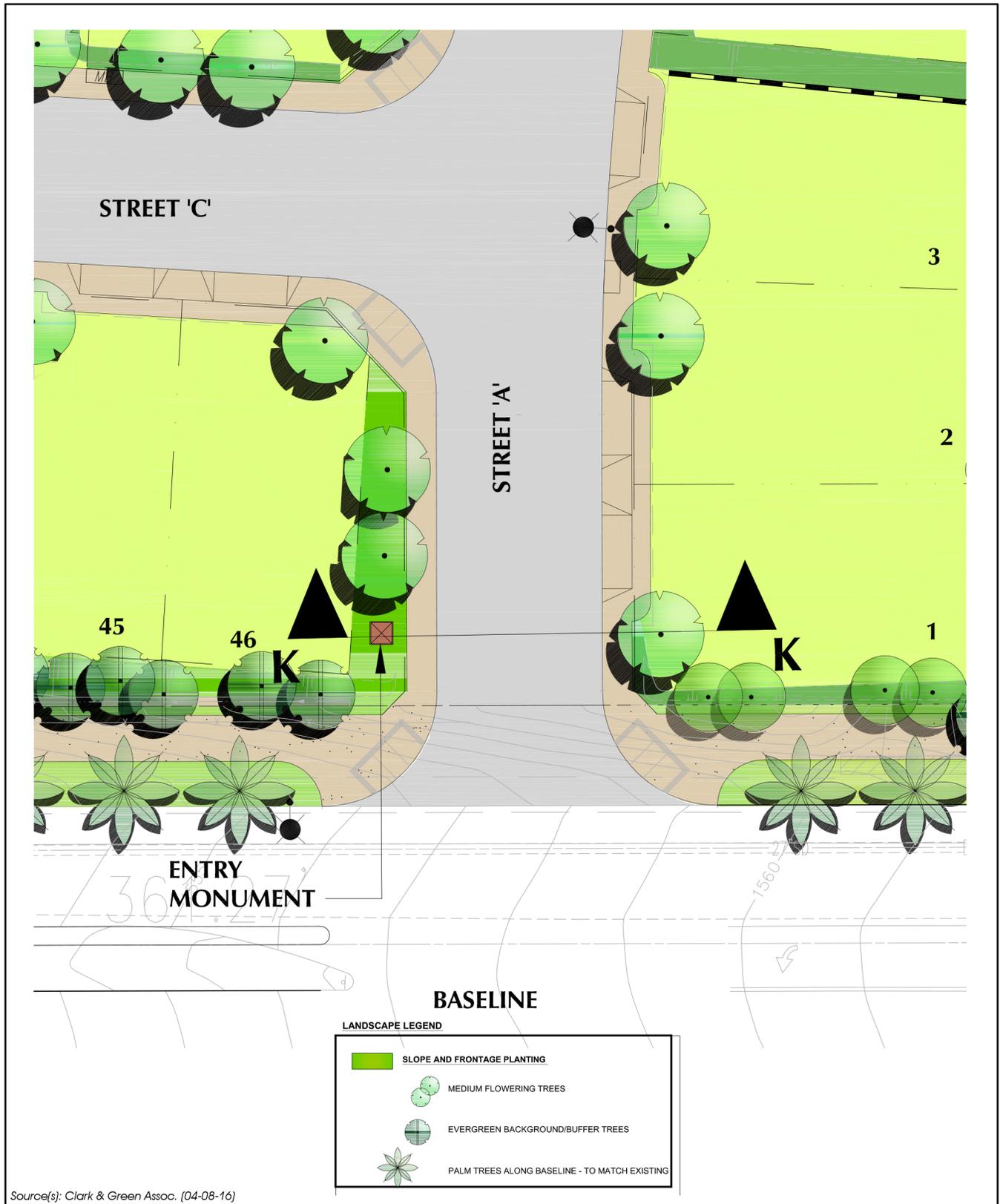
Roadway streetscapes within HIGHLAND PARK are critical to creating a sense of place, and maintaining a high-quality community theme. The scale and proportion of the street scene provides separation of vehicular and pedestrian travel while tying the individual residences together visually, creating a high quality and visually pleasing experience at the pedestrian and vehicular level. Streetscapes throughout the community are planted with a combination of street trees, low shrubs, and masses of groundcovers. Turf grass shall be primarily limited to active use areas such as the neighborhood park. The landscaping plant palette for streetscapes provides continuity throughout the entire community. Streetscapes within the HIGHLAND PARK community are provided as follows:

a. Base Line Landscape Treatment

HIGHLAND PARK is fronted along existing Baseline which includes a ten-foot wide, curb adjacent landscaped parkway and a 10-foot wide sidewalk within the street right of way, as well as a generous landscape setback and community wall. As shown in Figure III-8, *Base Line Streetscape*, the landscape theme along Baseline will feature small flowering trees, seasonal color and a backdrop of screening trees and pines. Ground plane planting is comprised of a hierarchy of informal massing of evergreen and flowering Southern California native and non-native drought tolerant plantings.

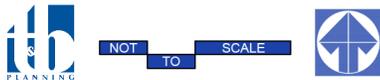
b. Local Street Landscape Treatment

As shown in Figure III-9, *Local Street Streetscape*, Local Streets within the HIGHLAND PARK community feature a 50-foot right-of-way, including an 18-foot travel lane in each direction, 6-and-a-half foot wide, curb adjacent sidewalks with a 6-inch mow strip adjacent to residential frontages that are landscaped with street trees and groundcover. A single street tree is provided in the front yard of each unit. The developer shall be responsible for the front yard landscaping of the residential units to ensure an attractive street scene; however, maintenance of the front yard landscaping shall be the responsibility of the individual home owner.

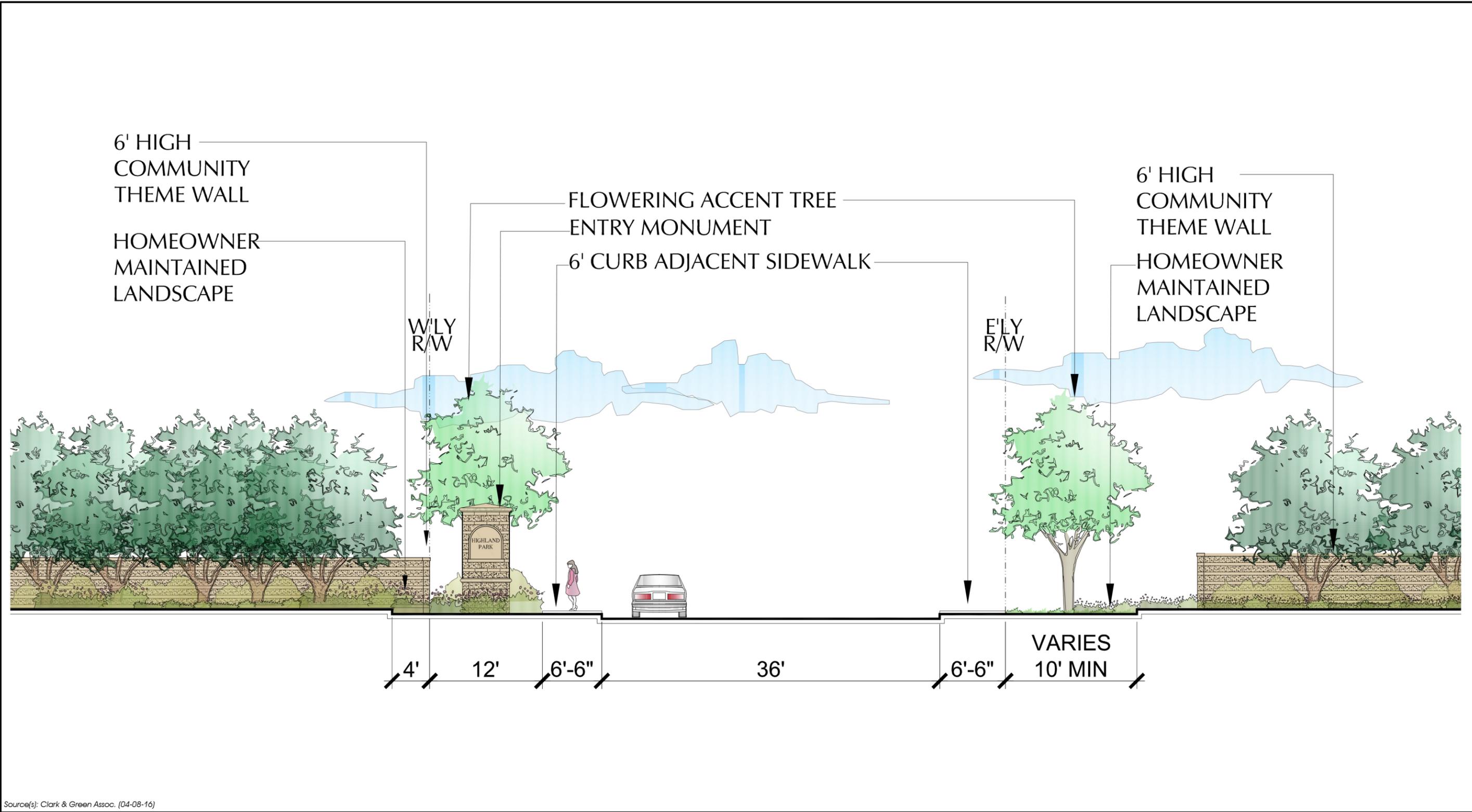


Source(s): Clark & Green Assoc. (04-08-16)

Figure III-5



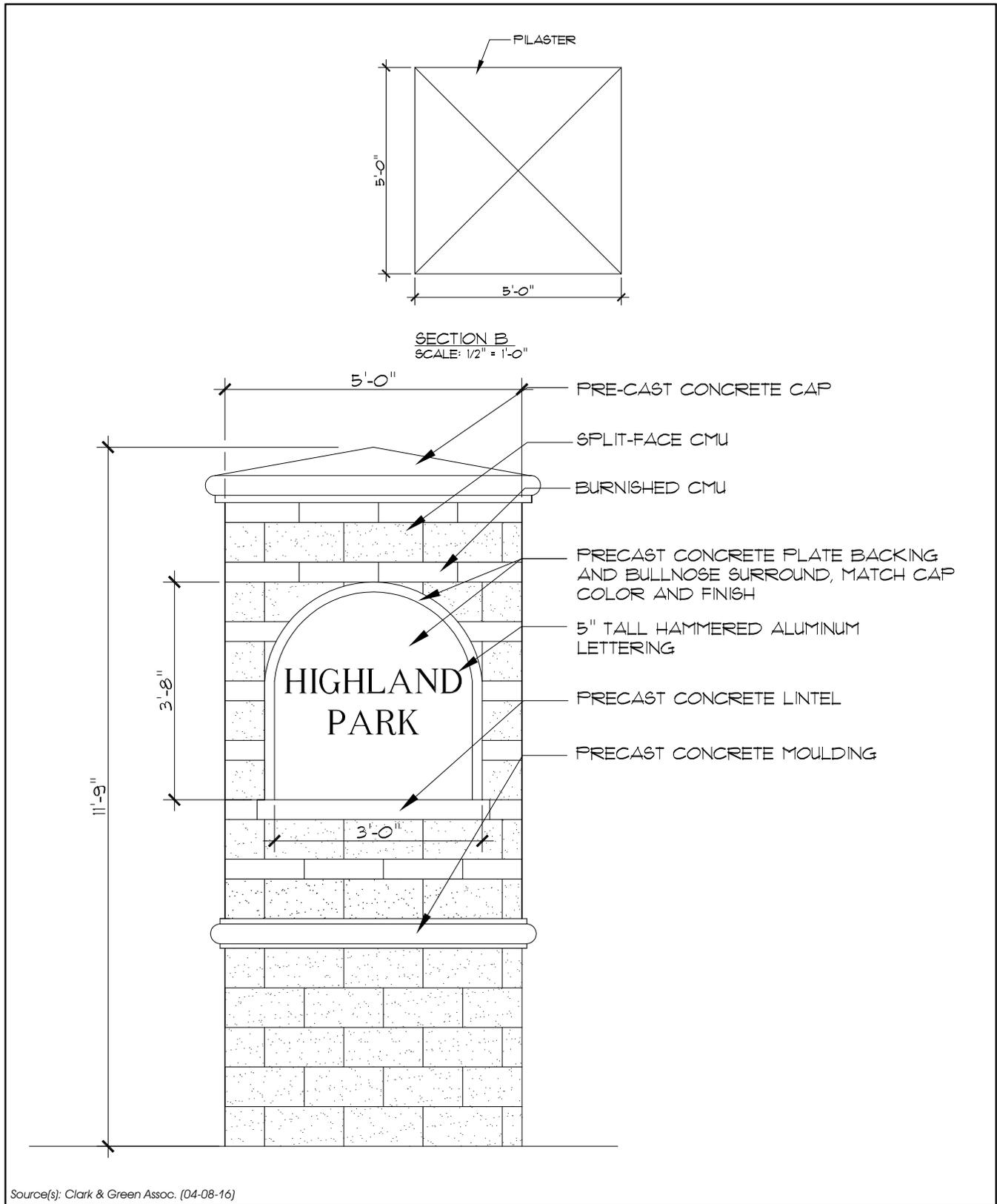
ENTRY PLAN



Source(s): Clark & Green Assoc. (04-08-16)

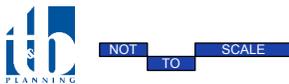
Figure III-6

ENTRY ELEVATION

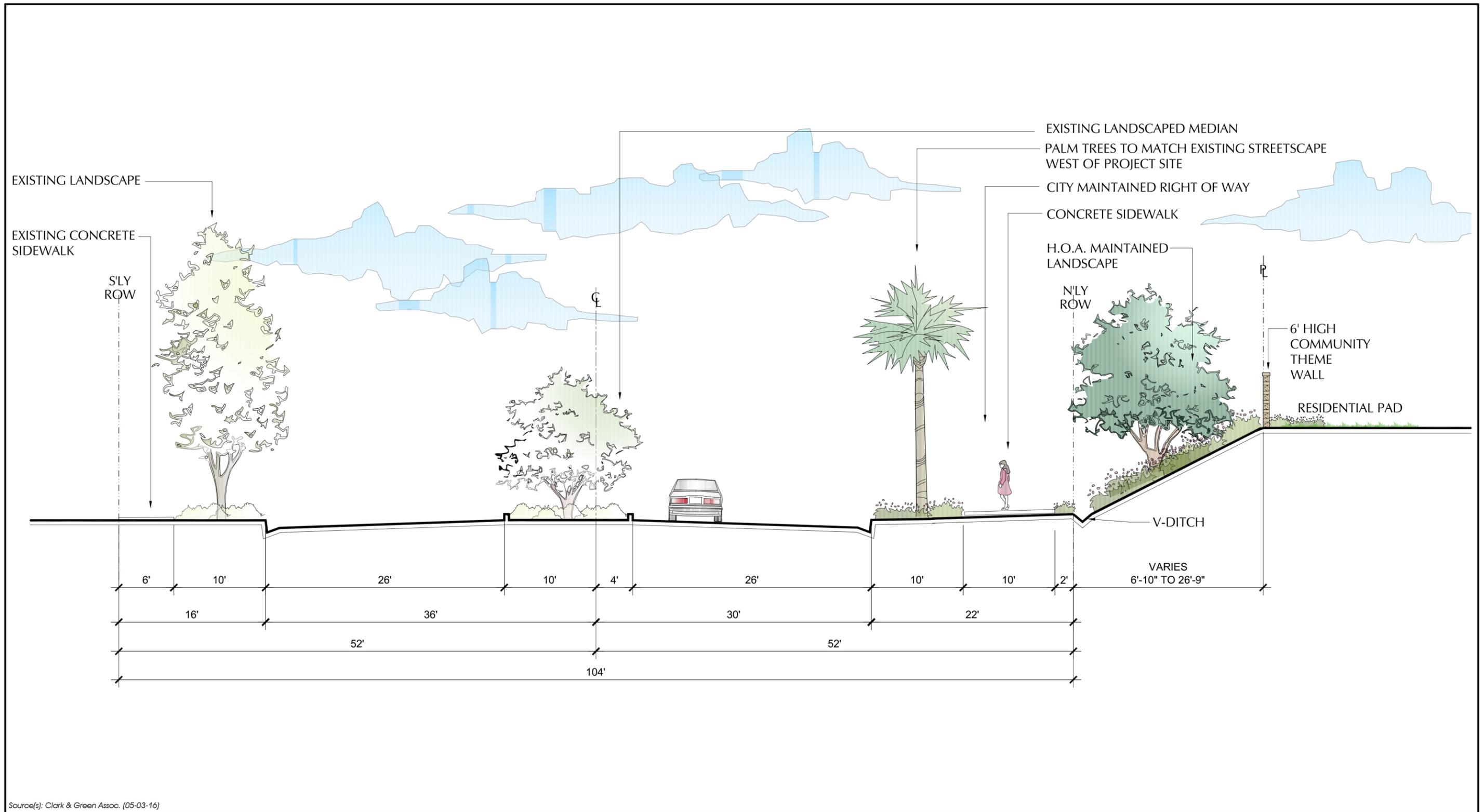


Source(s): Clark & Green Assoc. (04-08-16)

Figure III-7



ENTRY MONUMENT

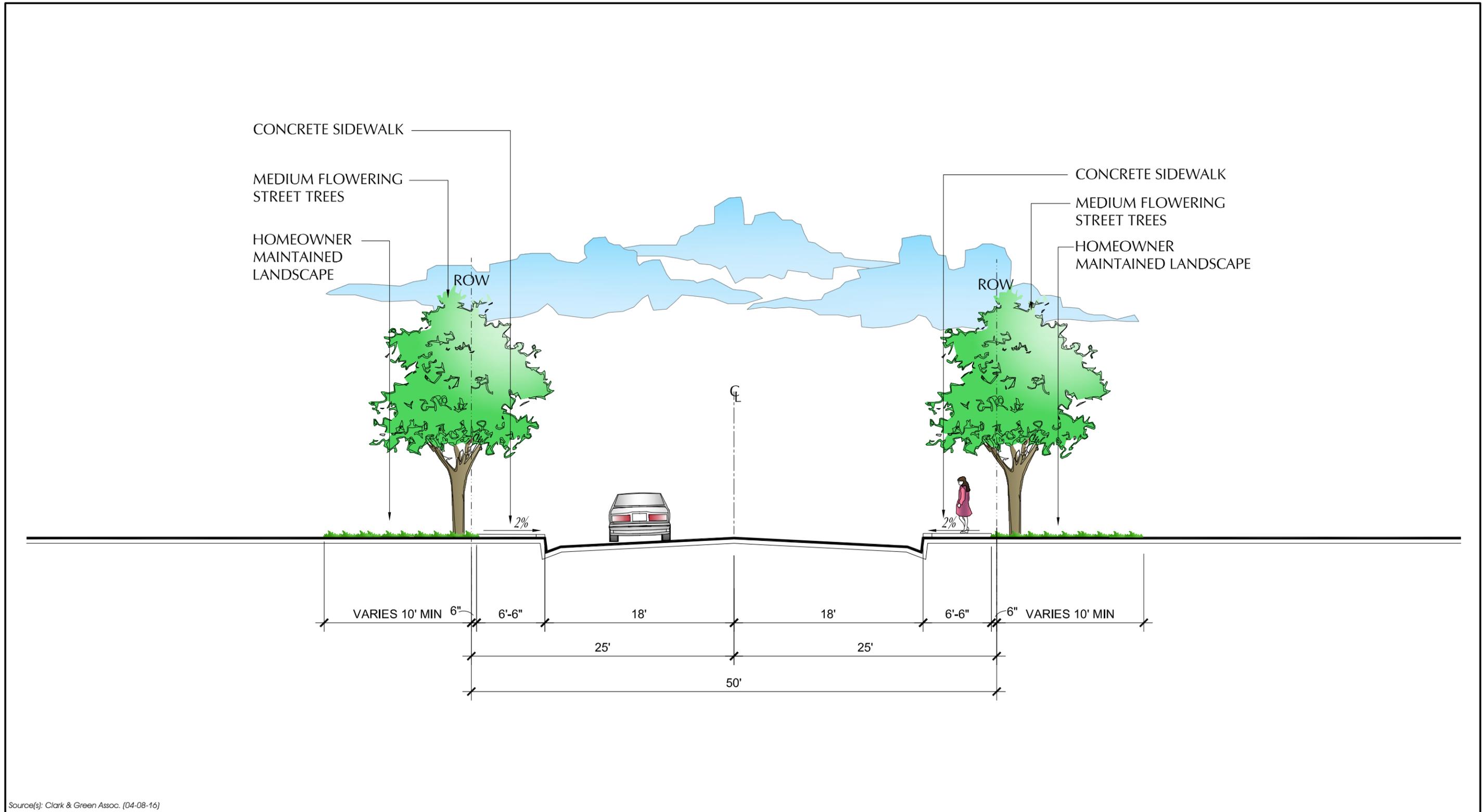


Source(s): Clark & Green Assoc. (05-03-16)



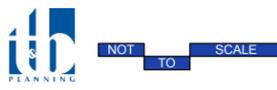
Figure III-8

BASE LINE STREETScape



Source(s): Clark & Green Assoc. (04-08-16)

Figure III-9



5. Walls and Fences

Walls and fences within the HIGHLAND PARK community are provided for functional purposes. They increase privacy and security and provide a visual element that unifies the community's theme and appearance. As illustrated on Figure III-10, *Wall and Fence Plan*, walls and fences within HIGHLAND PARK are predominantly located around the perimeter boundaries of the homes where these areas interface with roads, the neighborhood park, open space, or off-site land uses.

The walls and fencing within the HIGHLAND PARK community are major visual elements and have been carefully designed to complement the overall theme. The walls and fencing will be easy to maintain and provide a durable, long-term edge. Where provided, gates should be complementary in style and color to its fence or wall. Similarly, walls and fences shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to cap details. Walls and fences may be offset occasionally to avoid visual monotony.

The four (4) general types of walls and fencing used within HIGHLAND PARK are described below and conceptually depicted on Figure III-11, *Wall and Fence Details*.

- **Community Theme Wall:** The HIGHLAND PARK Community Theme Wall along Baseline is a decorative tan, six (6)-foot tall solid masonry wall with masonry block cap. Masonry block pilasters are provided at key wall terminus points, corners, and other key locations. Theme walls create sense of community space, increase privacy and security, and screen neighborhoods from off-site land uses.
- **Perimeter Wall:** The perimeter wall along then north, east and west perimeter of the project is a tan, six (6)-foot tall solid masonry wall with masonry block cap. Masonry block pilasters are provided at key wall terminus points and corners. The perimeter wall increases privacy and security, and screens neighborhoods from off-site land uses.
- **View Fences:** View fences are generally located adjacent to natural open space areas. These fences preserve scenic views while maintaining security. View fences have a maximum height of five (5) feet, are constructed of tubular steel, and feature masonry block pilasters with masonry block caps. The color finish of the tubular steel fence should complement the community's design theme.
- **Tubular Steel Fence:** Tubular steel fence is located around the water quality basins. The fencing consists of two inch square posts at eight feet on center, maximum. The fence is six feet tall.

LEGEND

- COMMUNITY THEME WALL - 6' HIGH MASONRY WALL SPLIT FACE - PRECISION BLOCK COMBINATION
- 6' HIGH MASONRY WALL SPLIT FACE BLOCK ONLY
- 5' HIGH TUBE STEEL FENCE (INCLUDES GATE AT EMERGENCY ACCESS)
- 6' HIGH VINYL FENCE WITH ACCESS GATE ON GARAGE SIDE OF HOUSE
- RETAINING WALL PER CIVIL PLANS
- SPLIT FACE-PRECISION BLOCK PILASTER
- SPLIT FACE BLOCK PILASTER
- ENTRY MONUMENT



Source(s): Clark & Green Assoc. (04-08-16)

Figure III-10

NOT TO SCALE

WALL AND FENCE PLAN

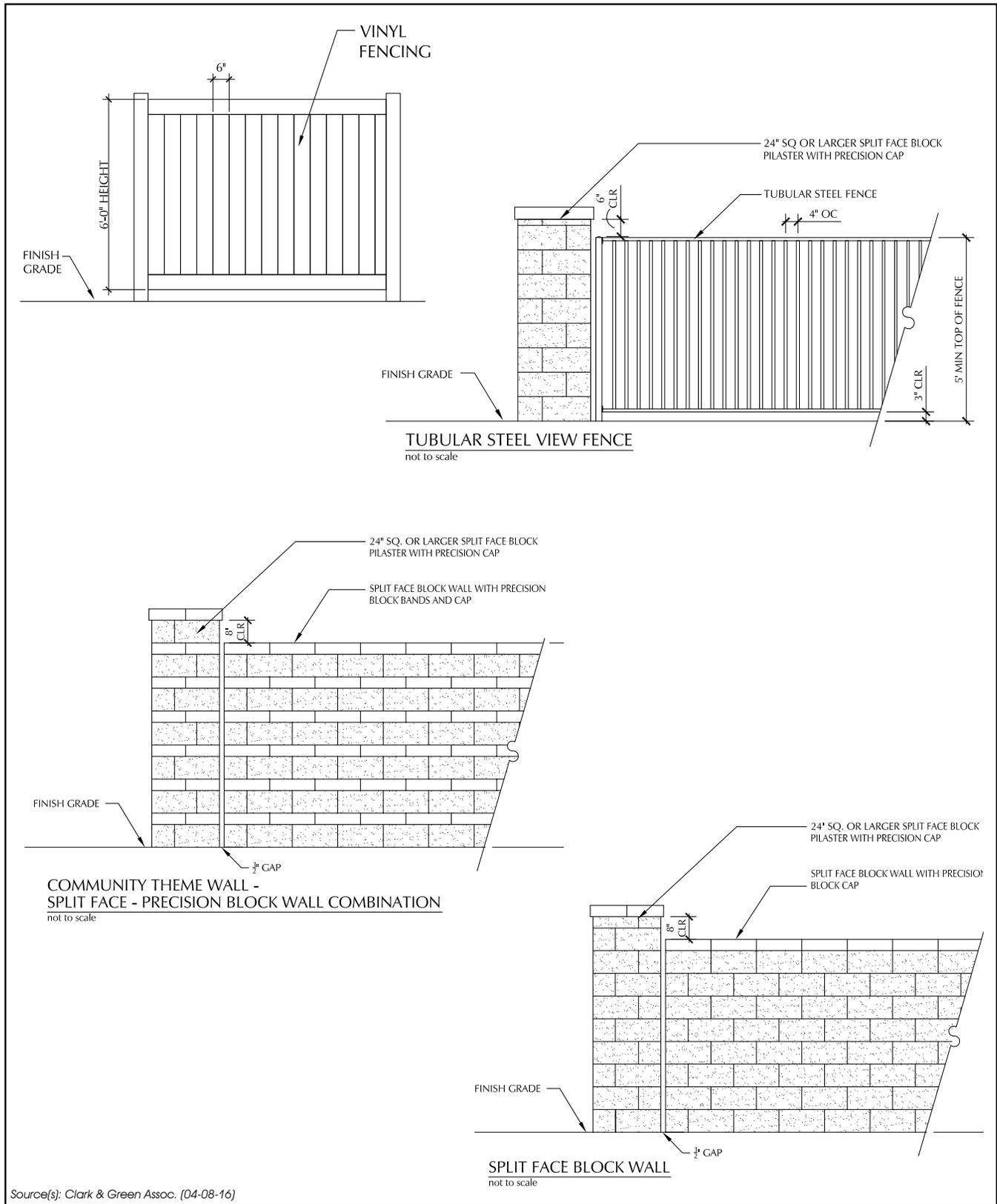
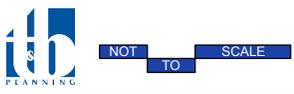


Figure III-11



WALL AND FENCE DETAILS

6. Land Use Transitions and Edge Conditions

The relationships between land uses within the Highland Park community, where one land use transitions into another, are of critical importance because these transitions ensure that neighboring uses are compatible with one another. Figure III-4, *Conceptual Landscape Plan*, identifies the areas in which these key transitions occur within the HIGHLAND PARK community and establishes the design components utilized to ensure and maintain compatibility. The most critical locations are those where residential neighborhoods abut other types of land uses, such as parks or internal slopes, and at the boundary of the HIGHLAND PARK community. The following information provides the design of each edge condition within the HIGHLAND PARK community.

a. Residential/Base Line

Figure III-12, *Residential Interface at Base Line*, illustrates the interface between residential lots that abut Base Line. Between these residential lots and Base Line is a HOA maintained open space (Lot 'A') with manufactured slope and planted with screening trees and shrubs in accordance with Table III-4, *Plant Palette*. A 6' tall Community Theme Wall is located at the top of the slope to maximize privacy and provide noise attenuation, as discussed in Subsection 5, *Walls and Fences*. A 2' wide concrete v-ditch is located at the Base Line right of way and is designed to carry drainage from the sloped areas to the storm drain located within Base Line.

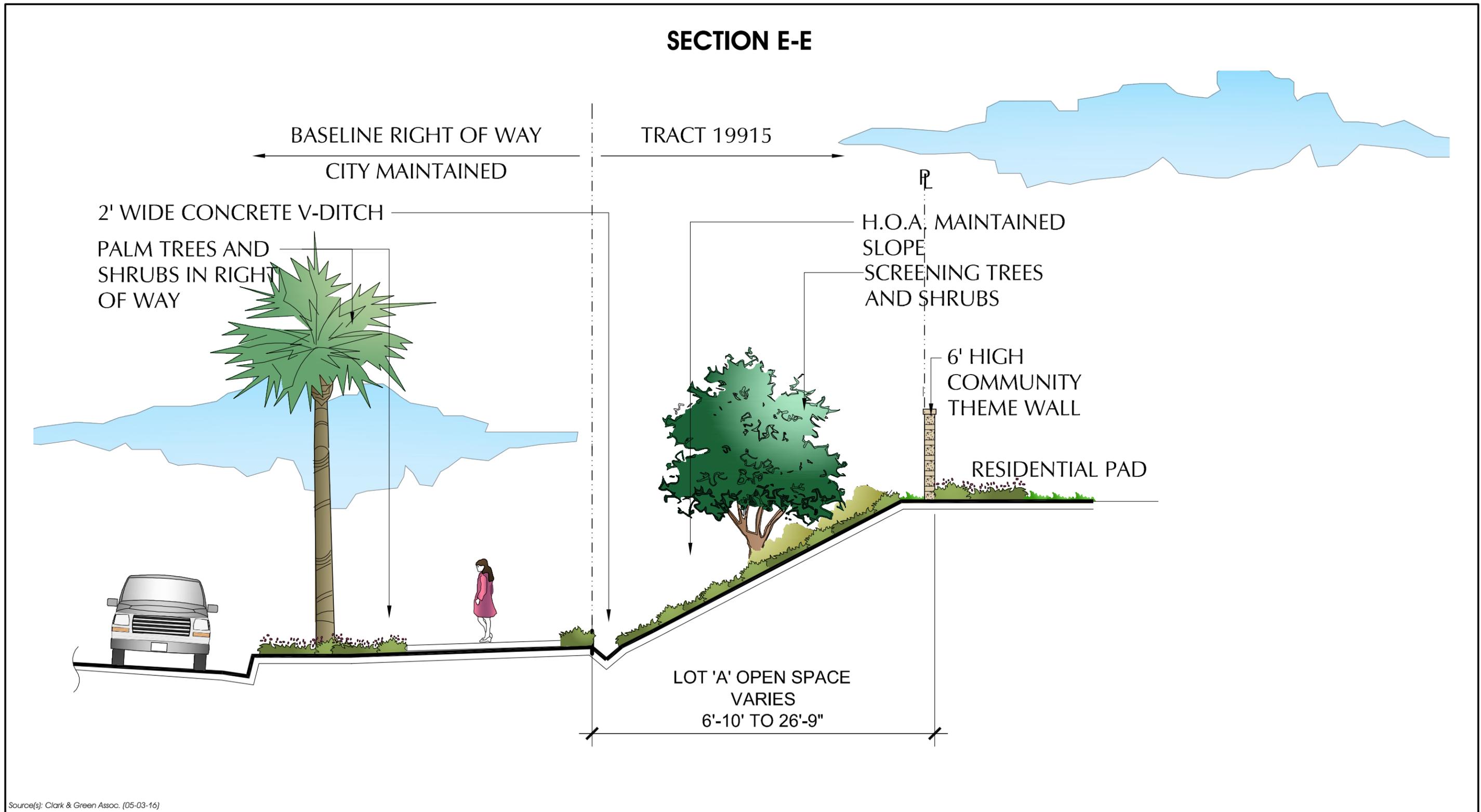
b. Residential/North Fork Ditch

Figure III-13, *Residential Interface at North Fork Ditch*, illustrates the two types of interfaces between residential lots that bound the northeastern portion of the HIGHLAND PARK community and the north fork ditch. With the exception of Lots 13 and 14 of TTM 19915, there is a homeowner maintained, manufactured slope located between these residential lots and the north fork ditch (refer to Section B-B of Figure III-13, *Residential Interface at North Fork Ditch*). A 6' tall Perimeter Wall is located at the top of the slope to maximize privacy and a maximum 4'6" tall retaining wall is located at the toe of the slope to separate the residential lot from the north fork ditch. Residential Lots 13 and 14 do not abut a sloped area, therefore the 6' tall Perimeter Wall sits on top of the maximum 9'6" tall retaining wall (refer to Section A-A of Figure III-13, *Residential Interface at North Fork Ditch*).

c. Residential/Adjacent Vacant Property

Figure III-14, *Residential Interface at Adjacent Vacant Property*, illustrates the two interface conditions between residential lots and the vacant property adjacent to the eastern portion of the HIGHLAND PARK community. Section C-C of Figure III-14, *Residential Interface at Adjacent Vacant Property*, depicts residential lots in this area that have a homeowner maintained, manufactured slope between the residential lot and a 6' tall Perimeter Wall that separates the residential lot from the adjacent vacant property. Section D-D of Figure III-14, *Residential Interface at Adjacent Vacant Property*, depicts residential lots in this area that have a homeowner maintained, manufactured slope between a maximum 2'8" tall retaining wall located at the toe of slope and the 6' tall Perimeter Wall located at the top of the slope.

SECTION E-E



Source(s): Clark & Green Assoc. (05-03-16)

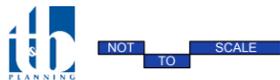
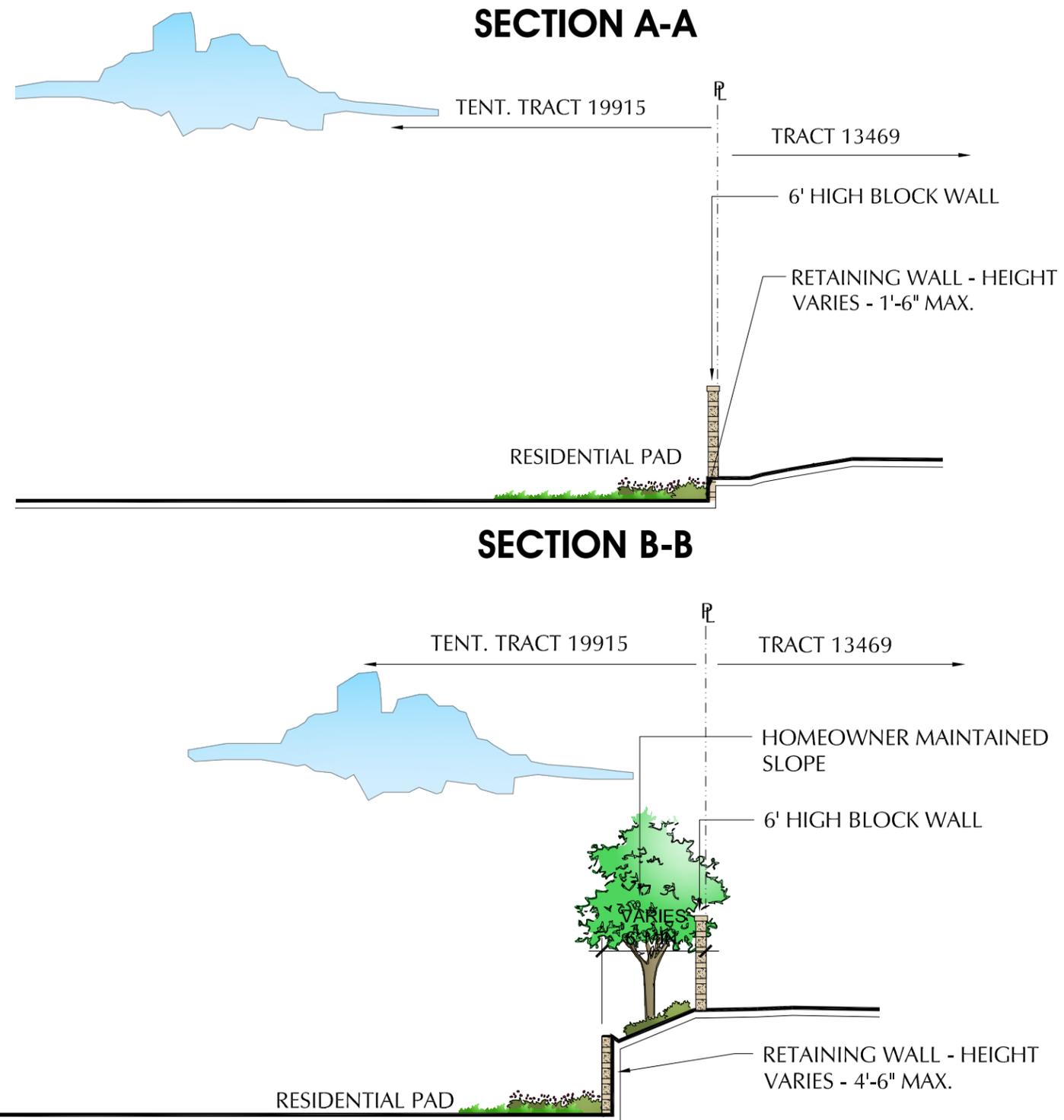


Figure III-12



Source(s): Clark & Green Assoc. (04-08-16)

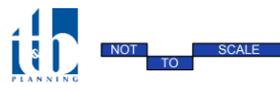
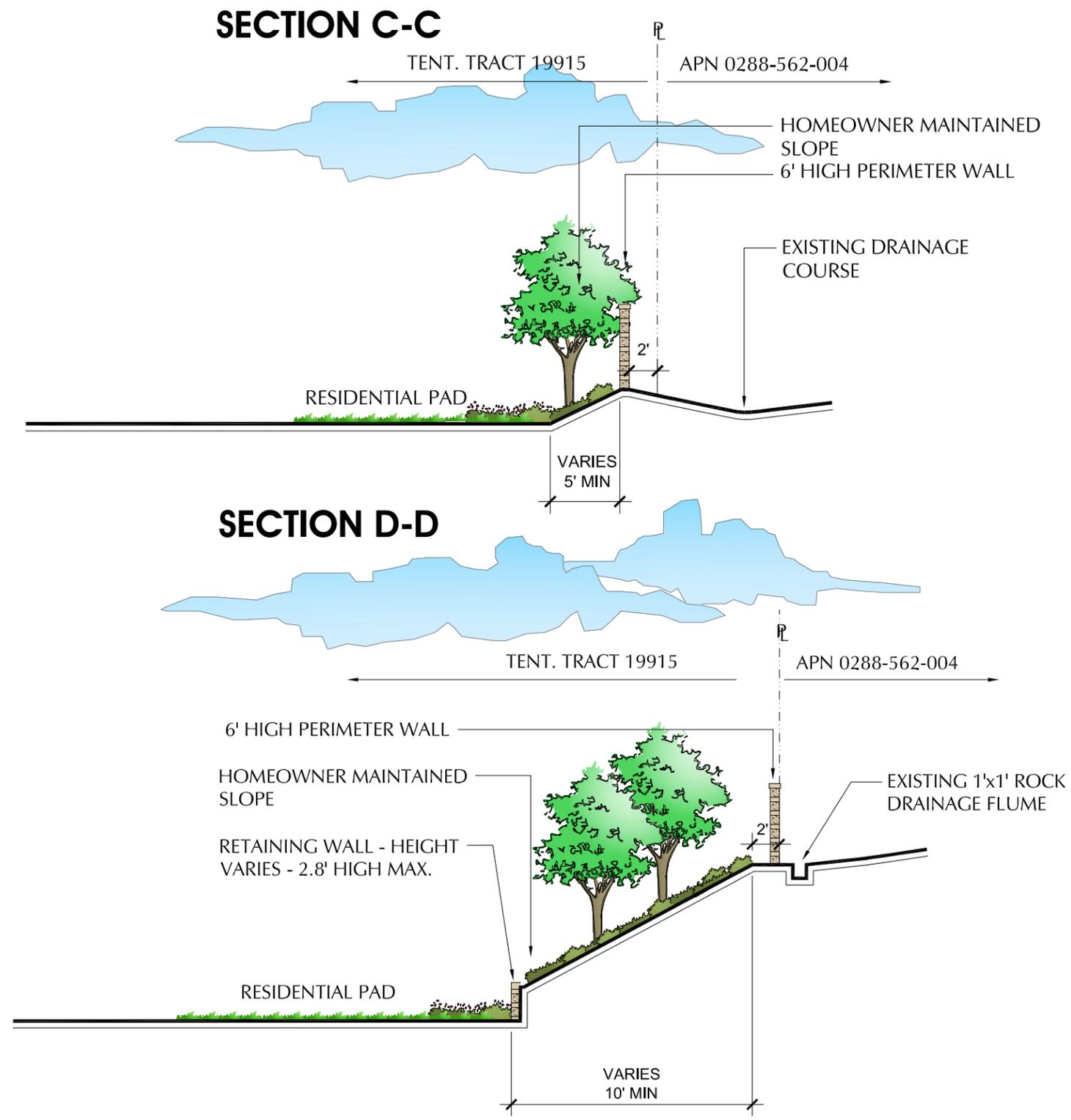


Figure III-13



Source(s): Clark & Green Assoc. (04-08-16)

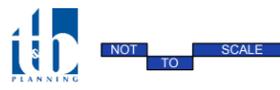


Figure III-14

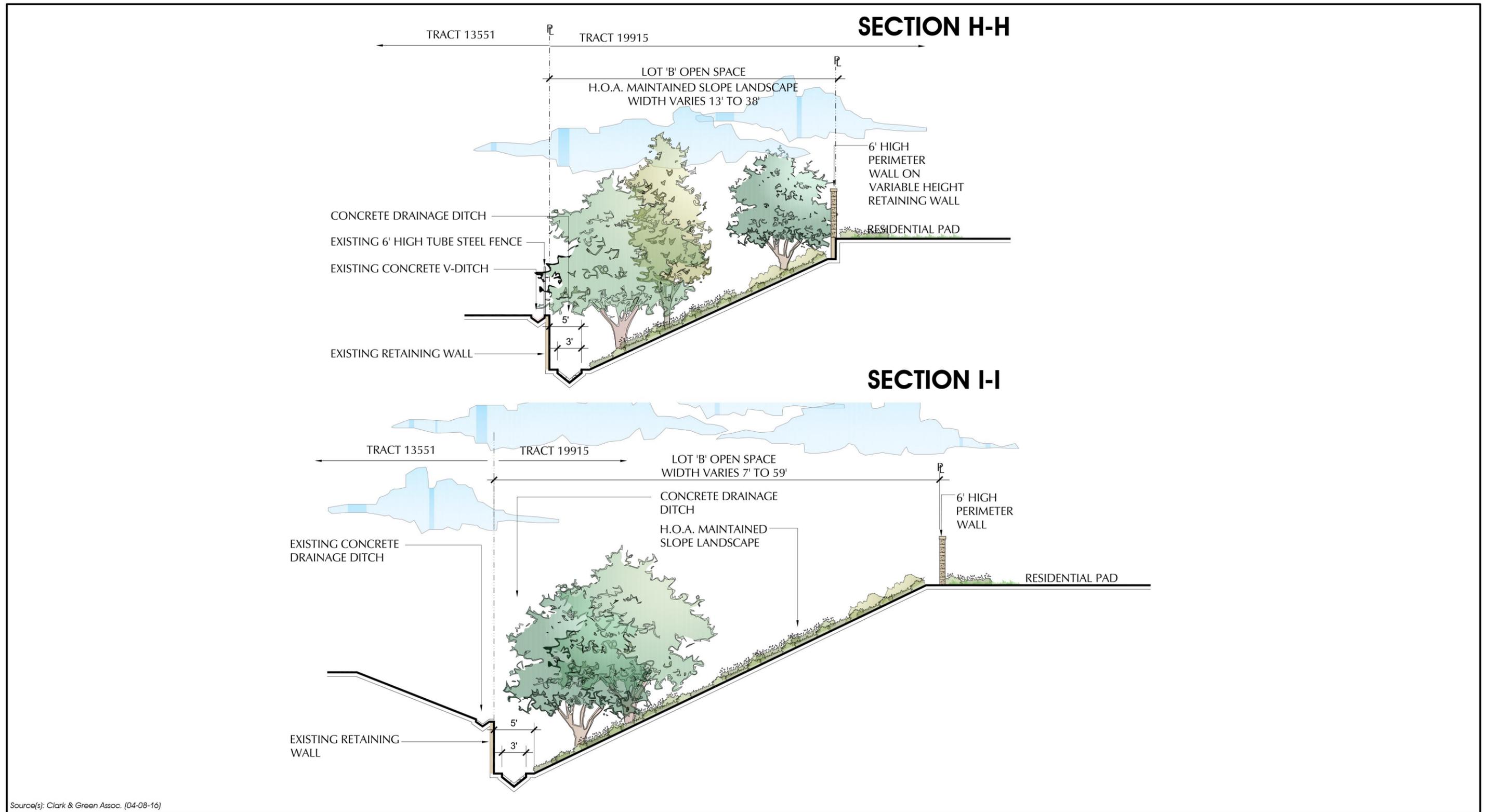
RESIDENTIAL INTERFACE AT ADJACENT VACANT PROPERTY

d. Residential/Existing Residential

Figure III-15, *Residential Interface at Existing Residential*, illustrates the interface between residential lots and existing residences located west of the HIGHLAND PARK community. An HOA maintained open space (Lot 'B') with a manufactured slope landscape is located between these residential lots and existing residential lots. A 6' tall Perimeter Wall is located at the top of the slope and a concrete drainage ditch is located at the toe of slope. The drainage ditch abuts an existing retaining wall that borders the rear and side yards of the existing residential lots.

e. Residential/Neighborhood Park

Figure III-16, *Residential Interface at Neighborhood Park*, illustrates the interface between residential lots and the Neighborhood Park. A 6' tall Community Theme Wall to protect the privacy of community residents. The park is planted with large canopy evergreen and deciduous trees and low shrubs and ground cover to visually buffer residential areas from the neighborhood park. The landscape treatments also serve to soften the appearance of residential areas from the neighborhood park. The basin slopes are planted with native and naturalized plant materials, including trees and groundcovers



Source(s): Clark & Green Assoc. (04-08-16)

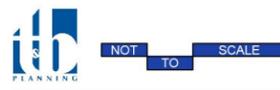
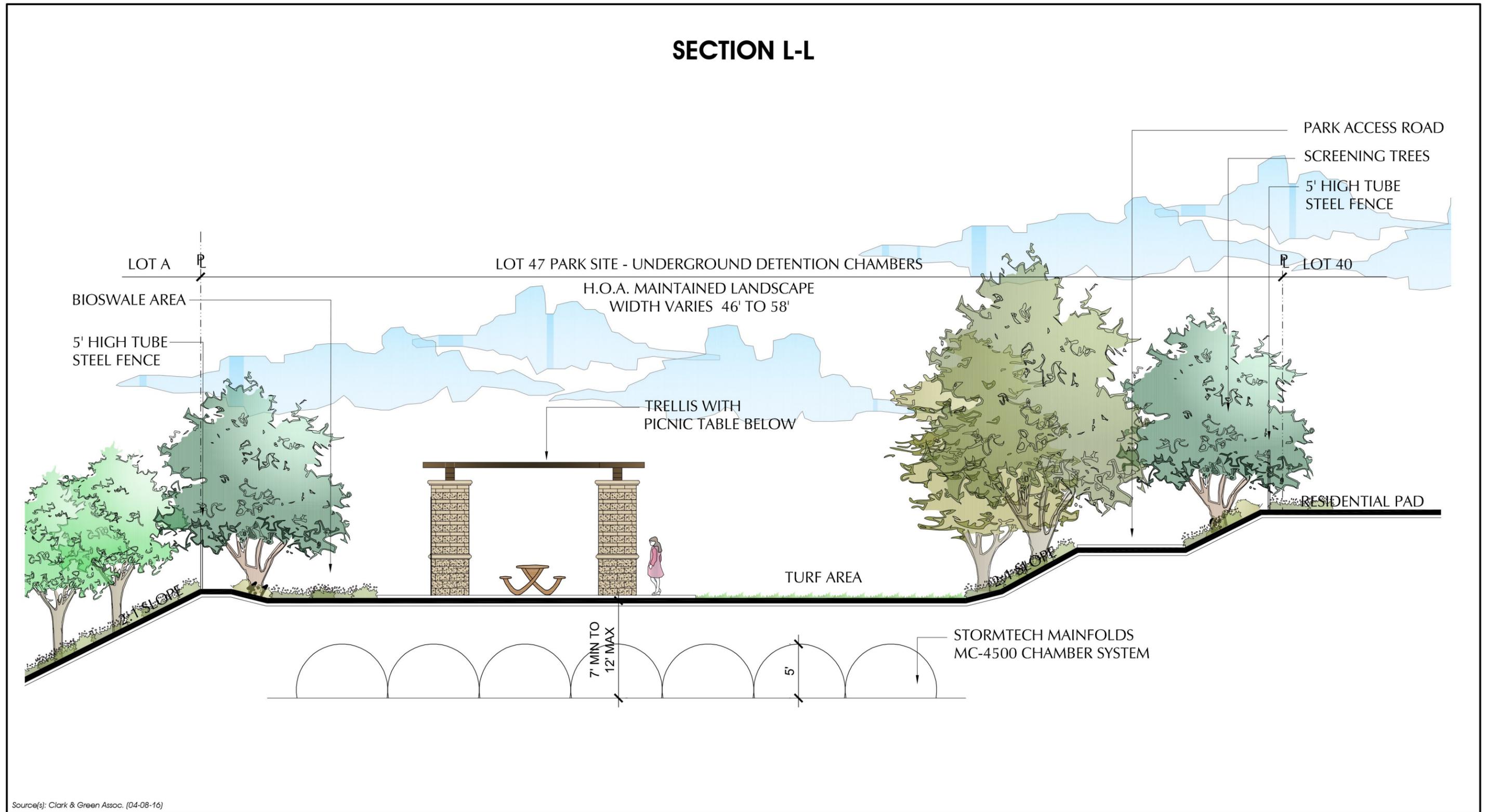


Figure III-15

RESIDENTIAL INTERFACE AT EXISTING RESIDENTIAL

SECTION L-L



Source(s): Clark & Green Assoc. (04-08-16)

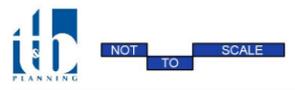


Figure III-16

RESIDENTIAL INTERFACE AT NEIGHBORHOOD PARK

7. Recreational Amenities

HIGHLAND PARK includes a 0.44-acre Neighborhood Park to provide a recreational amenity for community residents. HIGHLAND PARK also features pedestrian walkways, landscaped buffers, and passive open space areas. A detailed description of the Neighborhood Park site is provided below.

a. Neighborhood Park

The Neighborhood Park is centrally located within the neighborhood. As illustrated on Figure II-2, *Neighborhood Park*, the park features a shade trellis, picnic area, walking paths and turf open space. The planting palette is predominately Southern California native, featuring Sycamore and Oak trees.

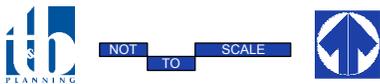
8. Maintenance of Common Areas and Recreational Amenities

Maintenance responsibilities for common areas and recreational amenities within the HIGHLAND PARK community are described below and depicted on Figure III-17, *Maintenance Plan*. Individual homeowners shall be responsible for the maintenance of the public street landscape along their property frontage unless otherwise identified within their legal ownership documents. Private homeowners shall also be responsible for all maintenance within their private lot area as well as fences and wall faces on their internal boundaries. For all other areas of the community maintenance responsibilities shall be as follows:

- City of Highland: Public streets (including street sweeping), street lighting, and landscape and sidewalks within public rights-of-way.
- Homeowner Association: Community Park, common open space areas (including slopes), landscape buffers, the water quality basin and streetscape behind sidewalk.



Figure III-17



MAINTENANCE PLAN

IV. GENERAL PLAN CONSISTENCY

The HIGHLAND PARK community consists of 46 single-family homes, a 0.44 acre Neighborhood Park, open space, a Water Quality Basin, and supporting infrastructure. The HIGHLAND PARK community is located within a residential area and is surrounded by existing residential development. As such, the HIGHLAND PARK community is consistent with surrounding land uses and development. Additionally, the high quality design of the HIGHLAND PARK community and accessibility to adequate public services achieves the goals and policies of the City's General Plan. Overall, the HIGHLAND PARK community is a residential community that offers attractive amenities to accommodate the diverse needs of Highland's residents.

A. FEATURES AND AMENITIES

The City of Highland General Plan Land Use Map designates the HIGHLAND PARK community as Medium Density Residential, a designation intended for single family residential development at a density between 6.1 and 12.0 dwelling units per acre (du/ac). The Highland Park Planned Development is consistent with the General Plan Land Use Element because this single family residential development has a net density of 6.37 du/ac, which is within the allowed Medium Density Residential land use.

Goal 10.6 of the City's General Plan identifies the primary goal for single-family neighborhood design is to "Maintain and enhance single-family neighborhoods with attractive streetscapes, compatible architecture and a high quality of life (p. 10-17)." The architectural and landscape design guidelines of the HIGHLAND PARK community set forth in this Planned Development document work together to achieve Goal 10.6, as well as Goal 10.10, and implement other associated policies contained in the City's Community Design Element (p. 10-17 through p. 10-18). Specifically, the features and amenities included in the HIGHLAND PARK community are consistent with the achievement of Goals 10.6 and 10.10 along with the implementation of the associated policies include:

- In accordance with Policy #1 of Goal 10.6, HIGHLAND PARK provides continuous sidewalks with consistently spaced medium, flowering trees provide for a pleasant pedestrian streetscape.
- In accordance with Policy #3 of Goal 10.6, three different floor plans, each featuring three different architectural styles provide for a varied and aesthetically pleasing street scene.
- In accordance with Policy #8 of Goal 10.6, the architectural design standards create a high quality, aesthetically pleasing residential design that unifies the community and is compatible with existing residential development.
- In accordance with Policy #9 of Goal 10.6, front yard setbacks provide for maximum landscape coverage of the front yard area.
- In accordance with Policy #6 of Goal 10.10, the Neighborhood Park provides for a common open space that encourages recreational uses and enhances the community environment.

B. PUBLIC SERVICES

The HIGHLAND PARK community provides adequate infrastructure for all public services and facilities needed to serve the community. A summary of services and agencies responsible for providing these services are provided below.

1. Water Service

Water service to the HIGHLAND PARK community is provided by the East Valley Water District. There is an existing 12” water main located along Base Line. The HIGHLAND PARK community will be served by the construction of an 8” water line within the community’s local roadways ‘A’, ‘B’, and ‘C’, which will connect to the water main along Base Line.

2. Sewer Service

Sewer service to the HIGHLAND PARK community will be provided by the East Valley Water District. There is an existing 8” sewer line located along Base Line. The HIGHLAND PARK community will be served by the construction of an 8” private sewer line within the community’s local roadways ‘A’, ‘B’, and ‘C’, which will connect to the existing sewer line along Base Line.

3. Police and Fire Services

Police protection services are provided to the HIGHLAND PARK community by the San Bernardino County Sheriff’s Department through a contract with the City of Highland. The closest police station is located at 26985 Base Line, approximately 3.0 miles west of the community, which will allow the City to maintain a four-minute response time for police services as mandated by the General Plan.

Fire protection services are provided to the HIGHLAND PARK community by the California Department of Forestry and Fire Protection (CDF) through a cooperative agreement with the City of Highland. The closest fire station is located at 29507 Base Line, approximately 0.25 mile east of the community, which will allow the City to maintain a four-minute response time for fire services as mandated by the General Plan.

4. Trash and Recycling

Trash and recycling services are provided to the HIGHLAND PARK community by Burrtec Waste Industries, Inc. and Cal Disposal Co., Inc. through contract with the City of Highland’s residential and commercial trash collection program. Under this program, trash collection is provided once a week, and each home is provided three 95-gallon carts, one for trash, one for recyclables, and one for green waste. As such, each home within the HIGHLAND PARK community will be provided with these trash collection services, which are considered to be adequate for single-family homes.